



**TENTATIVE AGENDA
NOVEMBER 13, 2024 6:30 PM.
ARCHITECTURAL REVIEW BOARD**

The Architectural Review Board will convene at the City of Glendale Auditorium which will be open to the public.

- I. MEETING CALLED TO ORDER
- II. ROLL CALL
- III. APPROVAL OF MINUTES: OCTOBER 9, 2024
- IV. REVIEW OF PLANS FOR A COVERED PATIO ADDITION
MARK AND ELLEN FESLER, 7 EDWIN AVE.
- V. MISCELLANEOUS
- VI. ADJOURNMENT

Gabrielle Macaluso
Deputy City Clerk

POSTED: 5:00 PM, NOVEMBER 8, 2024



MINUTES
ARCHITECTURAL REVIEW BOARD MEETING
OCTOBER 9, 2024 –6:35 p.m.

CALL TO ORDER

A meeting of the Architectural Review Board (ARB) of the City of Glendale was held on Wednesday, October 9, 2024. Chairman Jeffrey Fernhoff presided and called the meeting to order at 6:35 p.m.

ROLL CALL

Members Present

Members Absent

Chairman Fernhoff
John Falk
Reed Voorhees
Brad Weitekamp
Jon Emert
Mike Moran

Laura Switzer

Also present were Frank Johnson, City Administrator; Andrew Bramman, City Attorney; and Gabby Macaluso, Deputy City Clerk

APPROVAL OF MINUTES

Mr. Emert noted that there was a typo within the section of the September 11, 2024 meeting minutes approving minutes from the June 12, 2024 meeting. He noted that the word “some” should be “none.”

Mr. Vorhees moved to approve the minutes with this change. The motion was seconded by Mr. Emert and unanimously carried.

**REVIEW OF PLANS FOR COVERED PATIO ADDITION–
Mark and Ellen Fesler, 7 Edwin Ave.**

The proposed project at 7 Edwin Ave. was introduced, and Mr. Johnson explained that Mark and Ellen Fesler, the owners of 7 Edwin Ave., are seeking to construct a covered patio addition and pool in their rear yard. The Fesler’s architect is the Thomas Alan Group and their contractor is Molner Homes. Ellen Fesler and Chris Pike with the Thomas Alan Group attended the meeting with Mr. Pike presenting the project.

Mr. Pike noted that the project’s civil engineer, Wilson Waggoner, could not attend the meeting.

The ARB members noted multiple issues with the civil engineering plans. The issues include:

- Mr. Falk and Mr. Moran noted that downspouts and the water dispersal need to be marked on the plans.
- Mr. Voorhees discussed potential problems with the roof plan and the elevation of the cricket with respect to the new roof eave, and gutter. The Roof Plan needs to be corrected.
- The stormwater plan doesn’t show contours to show the flow of water.

- 1 ft. contours need to be used in place of 2 ft. contours.
- The property to the north with the MSD inlet needs to be evaluated to determine ownership and if it's available to accept drainage from the Fesler property. This needs to be noted in the plan.
- Existing down spout piping (including pipe dimensions) going to the existing basin and any existing water discharging into the depressed ground near the inlet needs to be documented on the plan.
- Mr. Moran and Mr. Falk noted concerns about the burial depth of underground utilities and if these lines can handle the weight of the proposed stormwater pipe. He noted that this needs to be investigated if the pipe is incorporated into final plans.
- Mr. Weitekamp expressed concerns about the proposed stormwater pipe going through the root zone of the existing large pine tree in the front yard.
- Polygons depicted on the plan need to be labeled/explained.
- The pool deck's slope needs to be documented on the plan.
- The existing retaining wall needs to be shown on the plan. Is the wall being removed or kept?

The ARB member comments regarding the landscape plan include:

- Mr. Weitekamp noted the need to include a list of plants incorporated into the landscape. The plan should include exact quantities and use plant varieties that are on MSD's BMP approved plant list.
- Mr. Weitekamp advises adding breaks in landscaping around the pool to allow for walking traffic.
- Mr. Voorhees suggests a fence around the pool to segregate it from the rest of the rear yard for added safety. Members noted that this goes above and beyond code requirements and the purview of the ARB.
- Mr. Moran noted that the stone wall needs to be accounted for in the landscape plan—will the wall remain and if so, how will it be incorporated with the plantings.

The ARB had no negative comments about the architectural plan.

Public comment was provided by the homeowner, Ms. Fesler. She asked if the stormwater concerns would be the same if their proposed project featured only a covered patio and not a pool. The committee explained that it would still be a concern because roof and patio surfaces are considered impermeable and require that stormwater runoff be accounted for.

The ARB noted that the project submittal did not require inclusion of the swimming pool, as pools do not fall under the purview of the ARB. However, the ARB commended Ms. Fesler for doing the project the right way by including the pool and deck in the drawings and having one cohesive project and taking care to avoid negatively impacting their neighbors. Administrator Frank Johnson explained that if the construction of the pool and pool deck displaced stormwater and caused issues for their neighbors, then the City could find them in violation of the land disturbance code and require that water issues be remediated.

Mr. Fernhoff motioned to postpone the project until the next meeting due to design deficiencies and the need for updated plans and more information as expressed to the applicant throughout the meeting.

The motion was seconded by Mr. Moran and unanimously carried.

The motion passed with 6 Aye, 0 Nay, 1 Absent

**REVIEW OF PRELIMINARY
PLANS FOR TWO-STORY**

ADDITION—Alex and Claire Aubel,
120 Trevillian Ave.

The proposed project at 120 Trevillian Ave. was introduced, and Mr. Johnson explained that Alex and Claire Aubel, the owners of 120 Trevillian Ave are seeking to construct a two-story addition. The Aubel's architect, Matt Shaver of Shaver Architecture, and Alex Aubel attended the meeting with Mr. Shaver presenting the project.

Mr. Falk noted that the floor area ratio of the house seemed off. Mr. Shaver explained that the plans do call for the demolition of part of the house. Mr. Moran asked Mr. Shaver to note any removal or changes to the structure in the official submittal to the ARB.

Mr. Moran also noted that the strategy for mitigating roof surface water run-off should be included in the civil engineer plans submitted to the ARB in their official application.

Mr. Weitekamp and Mr. Moran expressed concerns about a large tree's root zone being damaged by the addition. They asked that the plans address this issue.

Mr. Falk recommends that the applicant add a feature in the front yard such as a flow well to mitigate stormwater. He confirmed with Mr. Shaver that there will be no additional paved area. He noted that downspouts should be noted on the plan.

Mr. Falk confirmed with Mr. Shaver that the existing building is stucco and that the addition will be stucco too.

Mr. Moran confirmed with Mr. Shaver that the existing structure is a frame structure. He cautioned the architect and homeowner to be very

careful in using stucco to avoid the issues experienced in a different Glendale project. He advised that they look closely at the composition of the stucco, the application, and the surface area design of the building in be able to have the stucco adhere without cracking.

The ARB discussed the roof eaves and noted that the eaves of the addition should vertically align with the eaves of the existing house. The roof overhangs on the addition may need to be extended in order to align with the existing eaves.

The ARB discussed the project's chimney design. They liked the natural stone and confirmed that it would remain above the roof line.

Mr. Moran and Mr. Weitekamp asked for the landscape plan to be included in the official submission to the ARB.

Mr. Shaver asked if physical samples of materials are required, and Mr. Moran confirmed that those would be much appreciated.

The ARB noted that the architecture is well-designed and nicely reflects the existing house on all sides.

ADJOURN

Mr. Fernhoff motioned to adjourn the meeting. The motion was seconded by Mr. Falk and unanimously carried to adjourn the meeting at 7:37 p.m.



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

Adopted by Ord. 03-14, August 4, 2014, Ord. 15-23, August 21, 2023

APPLICATION DATE 10-25-24 DATE OF ARB MEETING 11/13/24 ESTIMATED COST
PROJECT ADDRESS 7 EDWIN AVENUE GLENDALE, MO 63122
NAME OF PROPERTY OWNER MARK + ELLEN FESLER PHONE NUMBER 314-604-9084
CONTRACTOR (NAME) DAVE MOLNER - MOLNER HOMES PHONE NUMBER 314-249-9493
CONTRACTOR ADDRESS 3781 BAVILLE CT. FLORISSANT, MO 63034
ARCHITECT (NAME) THOMAS ALAN GROUP PHONE NUMBER 314-913-4106
ARCHITECT ADDRESS 23 N. GORE AVE. SUITE 302, WEBSTER GROVES, MO 63111
DETAILED DESCRIPTION OF WORK BEING PROPOSED: OUTDOOR ROOM W/ FIREPLACE + GRILLING AREA AND FINISHED BASEMENT
FLOOR AREA RATIO N/A (FAR = Floor area divided by total area of lot. Floor area includes all areas provided with heat and/or air conditioning. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch). (See page 6 for more details.)
TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 986
TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 2300
TOTAL FLOOR AREA (SQ. FT.)
TOTAL SQ. FT. OF LOT 15,870 WIDTH AND DEPTH OF LOT (FT.) 99 x 160
HEIGHT OF STRUCTURE ROOF = 20'-3" / CHIMNEY = 24'-4" NUMBER OF STORIES 1
ESTIMATED COMMENCE DATE EST. COMPLETION DATE

Each application shall be accompanied with payment of a fee as follows:

Addition or Accessory Structure: \$150.00
New Home: \$200.00

Applications must also include 7 copies of the following items collated into individual packets along with a Flash Drive containing the same information. Packets not collated may be accepted for scheduling purposes but will be returned to applicants for collation and are due no later than 12:00 p.m. one week prior to the scheduled ARB meeting. (Please check each item included):

(CHECKLIST ON REVERSE SIDE)

1. Existing and Proposed plot plan. Existing and finished or proposed contours to include property boundaries, setbacks and existing structures, and calculated FAR. The City reserves the right to request CAD files or any other information that may be needed to verify that FAR, setbacks, and other measurements are within required limits.
2. The location of the current and proposed impervious coverage (must include before and after lot drainage calculations).
3. The location of all downspouts and drainage pipes indicating where runoff will be taken. Differential runoff should be captured by a storm water system.
4. Proposed landscaping plan. Please see attached Landscape Plan Checklist for further detail. Trees in the public right-of-way must be protected with a fence, frame, or box if they are proximity of any excavation or construction. This "tree protection zone" must be indicated on the plans.
5. Floor plans to scale for all proposed structures.
6. Color photos of existing property and neighboring properties. For rear additions, include photos of rear yard and neighboring rear yards.
7. Provide building elevation of each face of structure to scale. For additions include full elevations of existing structures. Include a color elevation of at least one side of structure.
8. Provide information on type of materials that will be used on exterior façade of proposed structure. Provide at least one colored elevation to scale.



SIGNATURE OF APPLICANT

10-25-24

DATE

PROJECT CONSULTANTS	PROJECT INFORMATION
ARCHITECT THOMAS ALAN GROUP 23 NORTH GORE AVENUE SUITE 303 WESTER GROVES, MO 63119 CHRIS PKE PHONE 314-613-4108 CPKE@TAG-ATL.COM	APPLICABLE BUILDING CODES: INTERNATIONAL RESIDENTIAL CODE (2015) INTERNATIONAL MECHANICAL CODE (2015) UNIFORM PLUMBING CODE (2015) NATIONAL ELECTRIC CODE (2014) CITY OF GLENDALE AND ORDINANCES
GENERAL CONTRACTOR MOLNER HOMES 3781 BAVILLE COURT FLORENCE, MISSOURI 63034 DAVE MOLNER PHONE 314-249-6493 DAVEMOLNER@MOLNERHOMES.COM	CONSTRUCTION TYPE: TYPE VB (SB) UNPROTECTED, UNSPRINKLERED
STRUCTURAL CONSULTANT DREAM RUNNERS LTD. 43 CAMROSE GREEN MARYVILLE, MISSOURI 63062 PHONE 618-550-6417 FAX 618-295-3792 WWW.DREAMRUNNERS-LTD.COM	OCCUPANCY: SINGLE FAMILY DWELLING
CIVIL CONSULTANT WILSON CIVIL DESIGN P.O. BOX 308 MARYVILLE, MO 63062 PHONE 314-750-1567 WILSON@WILSONCIVILDESIGN.COM	SHEET TITLE INDEX
LANDSCAPE CONSULTANT BAXTER GARDENS 17299 VAL CHOCOSE CREEK ROAD CHESTERFIELD, MO 63005 PHONE 636-631-0333 WWW.BAXTERGARDENS.COM	COVER SHEET WITH COLOR RENDERING
	C0 CIVIL COVER SHEET C1 PROPOSED SITE PLAN C2 STORMWATER CONTROL PLAN C3 BOUNDARY RETRACEMENT & TOPO SURVEY L1 LANDSCAPE DEVELOPMENT PLAN L2 LANDSCAPE DETAILS AND PHOTOS A1 FINISHED LOWER LEVEL A2 OUTDOOR ROOM FDN. PLAN AND EXISTING AND NEIGHBORING PROPERTY PHOTOS A3 OUTDOOR ROOM FIRST FLOOR AND ROOF PLANS A4 OUTDOOR ROOM ELEVATIONS

A NEW OUTDOOR ROOM AND FINISHED BASEMENT FOR:
THE FESLER RESIDENCE



THOMAS ALAN GROUP
 ARCHITECTURE | DESIGN | INTERIORS



PROJECT VICINITY MAP
 NO SCALE

ABBREVIATIONS			
ABV. - ABOVE	DR. - DOOR	IJS. - IN JEST SPACE	SA. - SUPPLY AIR
A.F.F. - ABOVE FINISHED FLOOR	D.S. - DOWNSPOUT	INSUL. - INSULATION	STRUCT. - STRUCTURAL
ADJ. - ADJACENT	DTL. - DETAIL	IS. - IRONING BOARD	STL. - STEEL
ALUM. - ALUMINUM	DW. - DRYWALL	ITS. - IN TRUSS SPACE	S.D. - SMOKE DETECTOR
ALT. - ALTERNATE	DW DRPG. - DOWNWALL OPENING	ISL. - ISLET	S.C. - SQUARE FEET
ASPH. - ASPHALT	EA. - EACH	K.S. - KNEE SPACE	SS4 - TYPE # SAFETY GLAZING
BA. - BAW	E.F.S. - EXTERIOR INSULATION FINISH	LVL. - LAMINATED VENEER LUMBER	SS8 - TYPE # SAFETY GLAZING
BP. - BUMP POCKET	SYSTEM	UN. - UNFIN	SH. - SHEET METAL
BRG. - BRACING	EJ. - EXPANSION JOINT	LAUNDRY	SHT. - SHOWER
BRK. - BRICK	ELEC. - ELECTRICAL	LI. - LIGHT	SHWR. - SHOWER
BRKT. - BRACKET	ELEV. - ELEVATION	MAS. - MASONRY	SL. - SLAB
BRD. - BOARD	EQ. - EQUAL	MATL. - MATERIAL	SPEC. - SPECIFICATIONS
B.S. - BUCK	EQUIP. - EQUIPMENT	MAX. - MAXIMUM	SW. - SWITCH
BT. - BOTTOM	ES. - EACH SIDE	MCH. - MECHANICAL	T.J. - TRUSS JOINT INCORPORATED
CB. - CABINET	EXBT. - EXISTING	MIN. - MINIMUM	TOS. - TOP OF SLAB
CJ. - CONTROL JOINT/CEILING JOINTS	EXT. - EXTERIOR	MISC. - MISCELLANEOUS	T&G. - TONGUE AND GROOVE
CLG. - CLADDING	EKA. - EKALUST	M.O. - MASONRY OPENING	TEMP. - TEMPERED
CMU. - CONCRETE MASONRY UNIT	FD. - FLOOR DRAIN	MTL. - METAL	T.R. - TO BE REMOVED
CSM. - CALCIUM SILICATE MASONRY	F.J. - FLOOR Joints	NA. - NOT APPLICABLE	TV. - TELEVISION
UNIT	F.L. - FLOOR	NIC. - NOT IN CONTRACT	TR. - TRUSSES
CO. - CASED OPENING	FND. - FOUNDATION	N.T.S. - NOT TO SCALE	T.O.C. - TOP OF CONCRETE
CONC. - CONCRETE	F.P. - REFRIGERATION	OV. - OVER	T.O.P. - TOP OF PLATE
CONT. - CONTINUOUS	FRB. - FIRE-RESISTANT BOARD	OC. - OVER CENTER	U.S. - UNDER SHEET
CONST. - CONSTRUCTION	FTG. - FOOTING	OPT. - OPTIONAL	UCR. - UNDER COUNTER REFRIGERATOR
COV. - COVER	FURN. - FURNACE	OS. - OVERHEAD COVERING	ULL. - UNDERWRITERS LABORATORY
CT. - CEMENT-TILE	FV. - FIELD VERIFY	PA. - POST FROM ABOVE	UNL. - UNLESS NOTED OTHERWISE
D. - DIMENSION	GA. - GAGE	PL. - PLATE	W. - WASTER
D.B. - DIMENSIONED BY OTHERS	GEN. - GENERAL	PR. - PROFILE	WH. - WITH
D.S. - DOWNER BASE	GF. - GROUND FAULT INTERRUPTOR	PRC. - PROCKET	W.C. - WALK-IN CLOSET
DBL. - DOUBLE	GL. - GLASS	PRF. - PRESHEATHED	W.D. - WOOD
DES. - DESIGNED BY OTHERS	GN. - GUNNAR FILL	PS. - POLE AND SHELF	W.V. - WINDOW
DEFS. - DESTRUCT EXTERIOR FINISHING	GR. - GRADE	P.S.L. - PARALLEL STRONG LUMBER	W.O. - WINDOW
SYSTEM	H.C. - HANGCAP ACCESSIBLE	P.T. - PRESSURE TREATED	W.V. - WINDOW
DRS. - DESTRUCT EXTERIOR FINISHING	HDR. - HANGER	R. - ROOF RAFTER	W.V. - WINDOW
DRS. - DESTRUCT EXTERIOR FINISHING	HR. - HOUR HANDRAIL	RA. - RAINWATER	W.V. - WINDOW
DRS. - DESTRUCT EXTERIOR FINISHING	HROVD. - HORIZONTAL	REF. - REFERENCE	W.V. - WINDOW
DRS. - DESTRUCT EXTERIOR FINISHING	HT. - HEIGHT	REF. - REFERENCE	W.V. - WINDOW
DRS. - DESTRUCT EXTERIOR FINISHING	HW. - HOT WATER HEATER	RF. - ROOF	W.V. - WINDOW
DRS. - DESTRUCT EXTERIOR FINISHING		RV. - ROOF VENT	W.V. - WINDOW

THOMAS ALAN GROUP
 ARCHITECTURE | DESIGN | INTERIORS
 23 North Gore Avenue, Suite 303
 West Grove, MO 63119
 (314) 304-6110 • ThomasAlanGroup.com

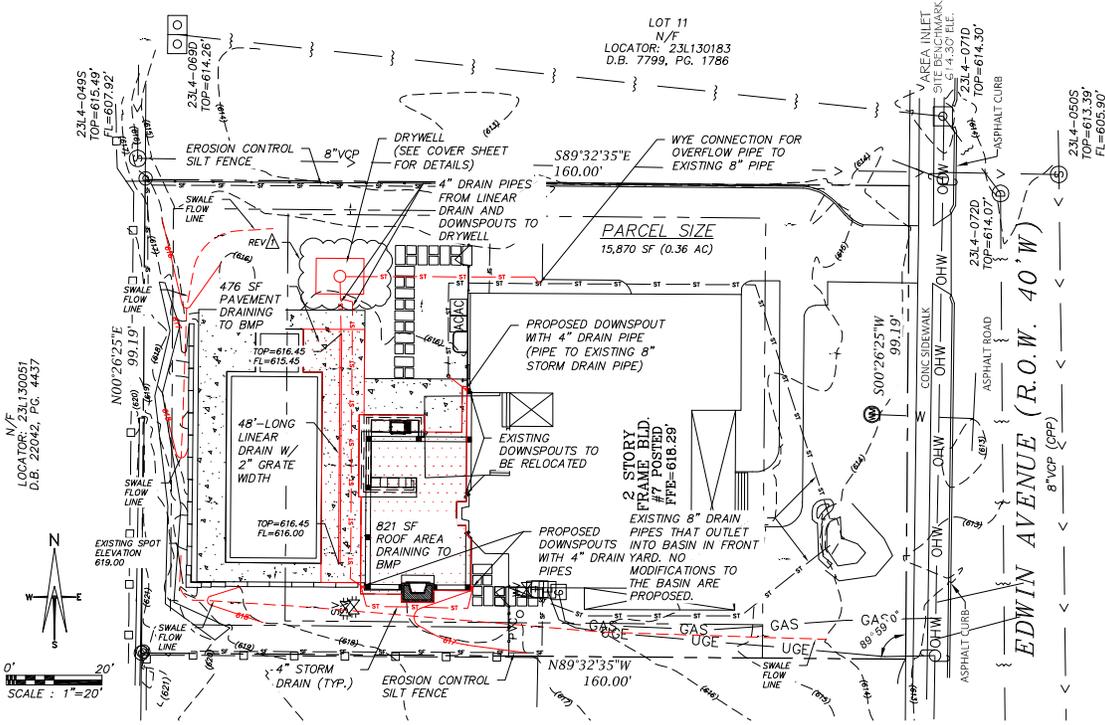
COVER SHEET

Sheet Number: **COVER SHEET**

NOT FOR CONSTRUCTION

No.	Description	Date
1	AFB Submission	08-19-24
2	Permit Submission	10-08-24

STORMWATER CONTROL PLAN - 7 EDWIN AVENUE GLENDALE MO 63122



IMPERVIOUS AREA CALCULATIONS

EXISTING IMPERVIOUS AREAS	
HOUSE	2,862 SF
FRONT PORCH	514 SF
CONCRETE PAVEMENT	2,123 SF
TOTAL	= 5,499 SF

EXISTING PERVIOUS AREAS	
LAWN/LANDSCAPING	10,371 SF

PROPOSED IMPERVIOUS AREAS	
HOUSE	2,862 SF
FRONT PORCH	514 SF
COVERED OUTDOOR ROOM	821 SF
CONCRETE PAVEMENTS	3,130 SF
SWIMMING POOL	756 SF
TOTAL	= 8,083 SF

PROPOSED PERVIOUS AREAS	
LAWN/LANDSCAPING	7,787 SF

EX IMPERVIOUS/LOT COVERAGE= 34.7%
 PR IMPERVIOUS/LOT COVERAGE= 50.9%
 DIFFERENTIAL IMPERVIOUS AREA= 2,584 SF

FLOW RATE CALCULATIONS PER ST. LOUIS MSD REQUIREMENTS (15YR, 20MIN DESIGN STORM)

DIFFERENTIAL FLOW RATE
 $Q_{pre} = 1.70 * 10,371 / 43,560 + 3.54 * 5,499 / 43,560 = 0.85$ CFS
 $Q_{post} = 1.70 * 7,787 / 43,560 + 3.54 * 8,083 / 43,560 = 0.96$ CFS
 $Q_{diff} = 0.11$ CFS

REQUIRED MITIGATION VOLUME
 $VOL = 0.11 \text{ CFS} * 20 \text{ MINS} * 60 \text{ SEC} / \text{MIN} = 132.0$ CF

CONTRIBUTING FLOW RATE:
 $Q = 3.54 * (1,297) / 43,560 = 0.11$ CFS

CONTRIBUTING VOLUME:
 $V = 0.11 \text{ CFS} * 20 \text{ MINS} * 60 \text{ SEC} / \text{MIN} = 132.0$ CF

DRYWELL VOLUME:
 FLO-WELL BARREL=6.7 CF
 ROCK VOLUME $REQ'D = (132.0 - 6.7) / 0.40 = 313.3$ CF
 ROCK PIT DEPTH=4.0'
 ROCK PIT WIDTH=10.0'
 ROCK PIT LENGTH=8.0'
 ROCK VOLUME=320.0-6.7=313.3 CF
 TOTAL WATER VOLUME=313.3+0.4+6.7=132.0 CF

UTILITIES NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.



ENGINEER'S CERTIFICATE

THIS IS TO CERTIFY THAT WILSON CIVIL DESIGN AT THE REQUEST OF AND FOR THE EXCLUSIVE USE OF MARK AND ELLEN FELSER HAS PREPARED THIS SHEET FROM RECORD SOURCES AND ACTUAL FIELD SURVEY.

Wilson D. Waggoner 10/25/2024
 WILSON D. WAGGONER, P.E. 2013019128
 IN THE STATE OF MISSOURI
 EXPIRES 12-31-2025



P.O. BOX 308
 MARYVILLE, MO 62062
 P: (314) 750-1987
 E: WILSON@WILSONCIVILDISEGN.COM

NO.	DATE	REV.
1	10/25/24	CITY COMM RESPONSE

PROJECT NO.
 DRAWN: *WDW* CHECKED: *WDW*
 DATE: 9/12/2024

SHEET **C2.0**

BOUNDARY RETRACEMENT AND TOPOGRAPHIC SURVEY

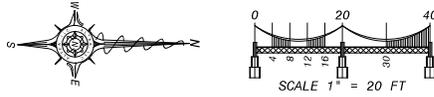
7 EDWIN AVENUE

PART OF LOT 12 OF ELSA PLACE
PLAT BOOK 9, PAGE 33
ST. LOUIS COUNTY, MISSOURI

MISSOURI ONE CALL	TICKET NO.	REQUEST DATE:	
8/15/24	242254121	8/12/24	
DATE	UTILITY	COMPANY	RESPONSE
	ELECTRIC	AMEREN MISSOURI ELECTRIC	MARKED
	FO	EVERSTREAM SOLUTIONS	CLEAR / NO CONFLICT
	FO, TEL, TV	ATT DISTRIBUTION	CLEAR / NO CONFLICT
	WATER	MISSOURI AMERICAN WATER CO	MARKED
	TEL	MCI	CLEAR / NO CONFLICT
	GAS	SPRE MO EAST	MARKED
	SEWER	MSD	MARKED

SURVEYOR'S NOTES

- CONTOURS DEPICTED HEREON ARE DISPLAYED IN ONE (1) FOOT INTERVALS.
- SITE BENCHMARK: ELEVATION = 614.30' AREA INLET NEAR THE NORTHEAST CORNER OF THE SITE
- ANY UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM ABOVE GROUND OBSERVATIONS ONLY. THIS COMPANY HAS MADE NO ATTEMPT TO EXCAVATE OR GO BELOW SURFACE TO LOCATE UTILITIES AND DOES NOT EXTEND OR IMPLY A GUARANTY OR WARRANTY AS TO THE EXACT LOCATION OF OR COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO EXCAVATION OR CONSTRUCTION AND TO PROTECT SAID UTILITIES FROM DAMAGE.
- BASIS OF BEARINGS ARE DERIVED FROM TIES TO MISSOURI STATE PLANE COORDINATES USING GPS OBSERVATIONS REFERENCED TO MDDOT VRS NETWORK ON AUGUST 16, 2024 WITH THE FOLLOWING PARAMETERS:
ZONE: MISSOURI EAST 2401
HORIZONTAL DATUM: NAD83
VRS BASE STATION PRS143356476177 (CORS-ID MOSI)
N(Y) = 302843.569 (METERS)
E (X) = 253367.387 (METERS)
COMBINED FACTOR = 0.999993347
VERTICAL DATUM: NAVD83 (GEOID12B)
- THE SUBJECT TRACT CONTAINS 0.36 ACRES MORE OR LESS (15,870 SQUARE FEET MORE OR LESS).



N/F
LOCATOR: 23L130051
D.B. 22042, PG. 4437

LEGEND

	SANITARY MANHOLE		CABLE BOX
	AREA INLET		ELECTRIC METER
	PVC PIPE CAP		AIR CONDITIONING UNIT
	STORM MANHOLE		UTILITY POLE
	DOUBLE AREA INLET		TELEPHONE BOX
	SPRINKLER VALVE		TELEPHONE PEDESTAL
	WATER METER		GAS METER
	WATER VALVE		
	CHAIN FENCE		BOUNDARY LINE
	EASEMENT LINE		WOOD VINYL METAL FENCE
	SETBACK LINE		WIRE FENCE
	PARCEL LINE		BUILDING FOOTPRINT
	U.S. SURVEY SECTION LINE		5' CONTOUR LINE
	CENTERLINE		1' CONTOUR LINE
	SANITARY SEWER		NATURAL GAS LINE
	OVERHEAD WIRE		UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE		STORM SEWER LINE
	WATER LINE		CABLE
			TELEVISION LINE

WEST LOCKWOOD AVENUE
(UNKNOWN WIDTH)
(FORMERLY JACKSON ROAD)

LOT 13
500°26'25"W
117.75'

N/F
LOCATOR: 23L110185
D.B. 24288, PG. 3629

N89°32'35"W
160.00'

N00°26'25"E
99.19'

23L4-0495
TOP=615.49'
FL=607.92'

23L4-069D
TOP=614.26'

2 STORY
FRAME BLD.
#7 POSTED.
FFE=618.29'

S89°32'35"E
160.00'

LOT 11
N/F
LOCATOR: 23L130183
D.B. 7799, PG. 1786

FOUND I.P.

500°26'25"W
99.19'

EDWIN AVENUE (R.O.W. 40' W)

23L4-072D
TOP=614.07'

23L4-072D
TOP=614.30'

23L4-050S
TOP=613.39'
FL=605.90'

CONTROLLING CORNERS USED:
I.P. - NORTHWEST CORNER LOT 6.
I.P. - NORTHEAST CORNER LOT 7.

TITLE NOTES
FOR THE SOURCE OF PROPERTY DESCRIPTION, EASEMENTS, DEDICATIONS AND EXCEPTIONS, ALTEA, LLC, EXCLUSIVELY USED THE TITLE DOCUMENTS PROVIDED BY ALLIANT NATIONAL TITLE INSURANCE CO. FILE NUMBER 817319, DATED AUGUST 28, 2014.

	FOUND/SET SEMI-PERMANENT MONUMENT		FOUND/SET NOTCH
	FOUND/SET PERMANENT MONUMENT		FOUND/SET ARROW
	FOUND/SET CROSS		SET STAKE
	FOUND/SET ANCHOR		SITE BENCHMARK

SHEET IDENTIFICATION
BOUNDARY & TOPO

SURVEYOR'S STATEMENT
AT THE REQUEST OF ELLEN FESLER, ALTEA, LLC, HAS DURING THE MONTH OF AUGUST, 2024, EXECUTED A BOUNDARY RETRACEMENT & TOPOGRAPHIC SURVEY OF PART OF LOT 12 OF ELSA PLACE, ACCORDING TO THE PLAT THEREON RECORDED IN PLAT BOOK 9, PAGE 33 OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS, TOGETHER WITH THE LOCATION OF OBSERVED IMPROVEMENTS THEREON, AND THAT THE RESULTS OF SAID SURVEY ARE IN MY PROFESSIONAL OPINION, CORRECTLY INDICATED ON THE ABOVE PLAT. THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR URBAN CLASS PROPERTY. BUILDING SETBACK INFORMATION DEPICTED HEREON IS FROM THE RECORD PLAT OR CITY BLOCK MAP (IF APPLICABLE). PLANNING AND ZONING RESTRICTIONS WERE NOT OBTAINED OR ADDRESSED AS A PART OF THIS SURVEY. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY ONLY AND IS NOT TRANSFERABLE. UTILITY LOCATES WERE NOT REQUESTED AND NO UTILITIES OR SEWERS WERE LOCATED IN CONJUNCTION WITH THIS SURVEY. THE OPINION OF THE ORIGIN OF THE FENCES SHOWN HEREON IS FROM EVIDENCE OBSERVED DURING THE COURSE OF THIS SURVEY, AND MAY INCLUDE: FENCE CONSTRUCTION, OCCUPANT TESTIMONY, OR OTHER AVAILABLE INFORMATION. NO GUARANTEE IS MADE OR CERTAINTY GIVEN AS TO THE ORIGIN OR OWNERSHIP OF FENCES. THIS BOUNDARY SURVEY IS NON-TRANSFERABLE. DUE TO EACH MUNICIPALITY HAVING DIFFERENT ZONING SETBACK REQUIREMENTS, OVERHANGS SHOWN ON THIS SURVEY MAY BE IN VIOLATIONS THAT THE SURVEYOR IS NOT AWARE OF AND MAKES NO WARRANTIES TO THIS EFFECT.

AS AGENT OF ALTEA, LLC
DATE 10-22-2024

ABBREVIATIONS
I.P.=IRON PIPE I.R.=IRON ROD (S)=SURVEYED (R)=RECORD
NR=NON-RADIAL P.B.=PLAT BOOK PG.=PAGE D.B.=DEED BOOK
NW=NOW OR FORMERLY CL=CENTERLINE S.F.=SQUARE FEET
CONC=CONCRETE R.O.W.=RIGHT-OF-WAY B.M.=BENCH MARK
ESMT=EASEMENT ELE=ELEVATION BLD=BUILDING
FFE=FINISHED FLOOR ELE FL=FLOWLINE

PROJECT NUMBER
24-1865-O-T-U1

FIELD CREW:	SJL
SURVEYED:	8/16/2024
DRAFTER:	LD/SY
DRAFTED:	8/17/2024
REVIEWER:	BLH
REVIEWED:	8/21/2024

1
OF 1

ALTEA, LLC
PROFESSIONAL LAND SURVEYING
CERTIFICATE OF AUTHORITY: 2013023731

ALTEA, LLC
Consulting Land Surveyors
3906 S. OLD HWY 94, SUITE 600
ST. CHARLES, MO 63304
PHONE: (636) 477-6000
FAX: (636) 898-0950
WWW.ALTEA.LLC.COM
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FINISHED LOWER LEVEL DRAWING NOTES

1. ALL INTERIOR WALLS TO BE 2X4 STUDS UNLESS NOTED OTHERWISE (AND).
2. SEE FOUNDATION PLAN FOR ADDITIONAL INFORMATION.
3. NOT USED.
4. DROPTOPPING CEILING SUSPENDED BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT STOPPED AT RAFTERS UNLESS 24" INTERVALS PARALLEL TO RAFTERS MEMBERS. SEE DETAIL THIS SHEET.
5. CEILING HEIGHTS TO BE DETERMINED BY EXTENT OF DUCTWORK, STEEL BEAMS, ETC. (1" OF FIN. CEILING HEIGHT) EXCEPTING:
 - A. BEAMS AND BRISERS (DECORATIVE OR STRUCTURAL) SPACED NOT LESS THAN 4 FEET ON CENTER MAY PROJECT A MAXIMUM OF 6" BELOW THE T-O-P REQUIRED CEILING HEIGHT.
 - B. CEILING IN BASEMENTS WITHOUT HABITABLE SPACES MAY PROJECT TO WITHIN 6" OF THE FINISHED FLOOR AND BEAMS, BRISERS, DUCTS OR OTHER OBSTRUCTIONS MAY PROJECT WITHIN 6" OF THE FINISHED FLOOR.
6. FIRESTOPPING REQUIRED AROUND VENT, PIPE AND DUCT PENETRATIONS OF CEILING AND FLOOR AND AT HORIZONTAL INTERVALS NOT EXCEEDING 10'-0" UNLESS A FIRE-RATED WALL IS SET AWAY FROM THE PENETRATION WALL.
7. PROVIDE ACCESS PANELS TO UTILITIES IN FINISHED AREAS.
8. ADJUST LOCATIONS OF RECESSED LIGHT FIXTURES IF REQUIRED FOR FRAMING MEMBERS, DUCTWORK, ETC. REVIEW ALTERNATE LOCATIONS WITH OWNER/BUILDER.

SYMBOLS LEGEND

	BRICK MASONRY
	PLYM. LEDGE
	INSUL. STUD
	RIGID BAT INSULATION

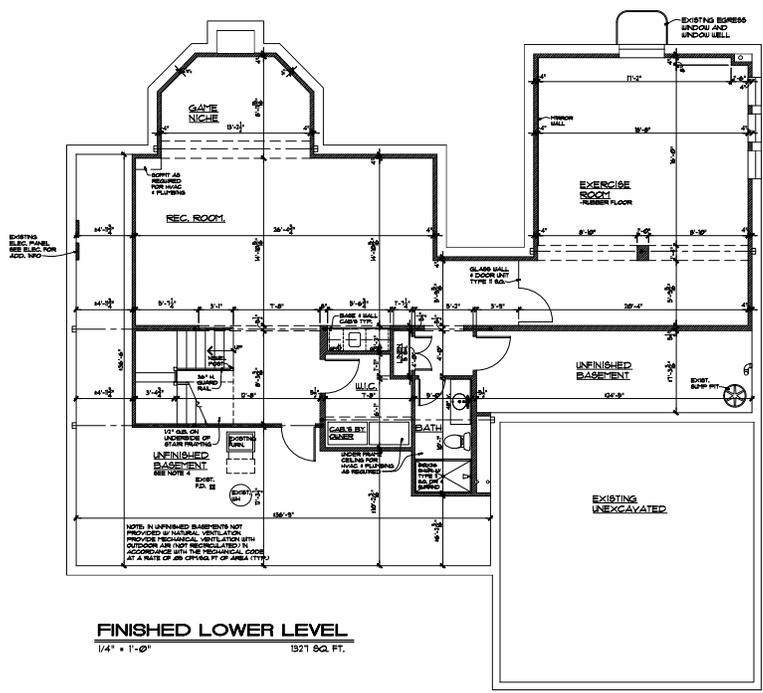
THOMAS ALAN GROUP
 23 North Gate Avenue, Suite 303
 Webster Groves, MO 63119
 (636) 301-8812 • ThomasAlanGroup.com

NOT FOR CONSTRUCTION

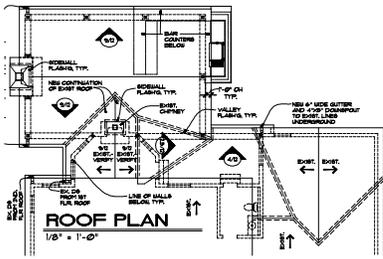
No.	Description	Date
1	ARB Submission	05-19-24
2	Resubmission	10-08-24

Approved for Construction by:
The Fester Residence
 7 Edwin Avenue
 Glendale, Missouri 63122

FINISHED LOWER LEVEL
 Sheet Number: **A1**



FINISHED LOWER LEVEL
 1/4" = 1'-0"
 1321 SQ. FT.



ADDITION AND REMODELING SITE NOTES

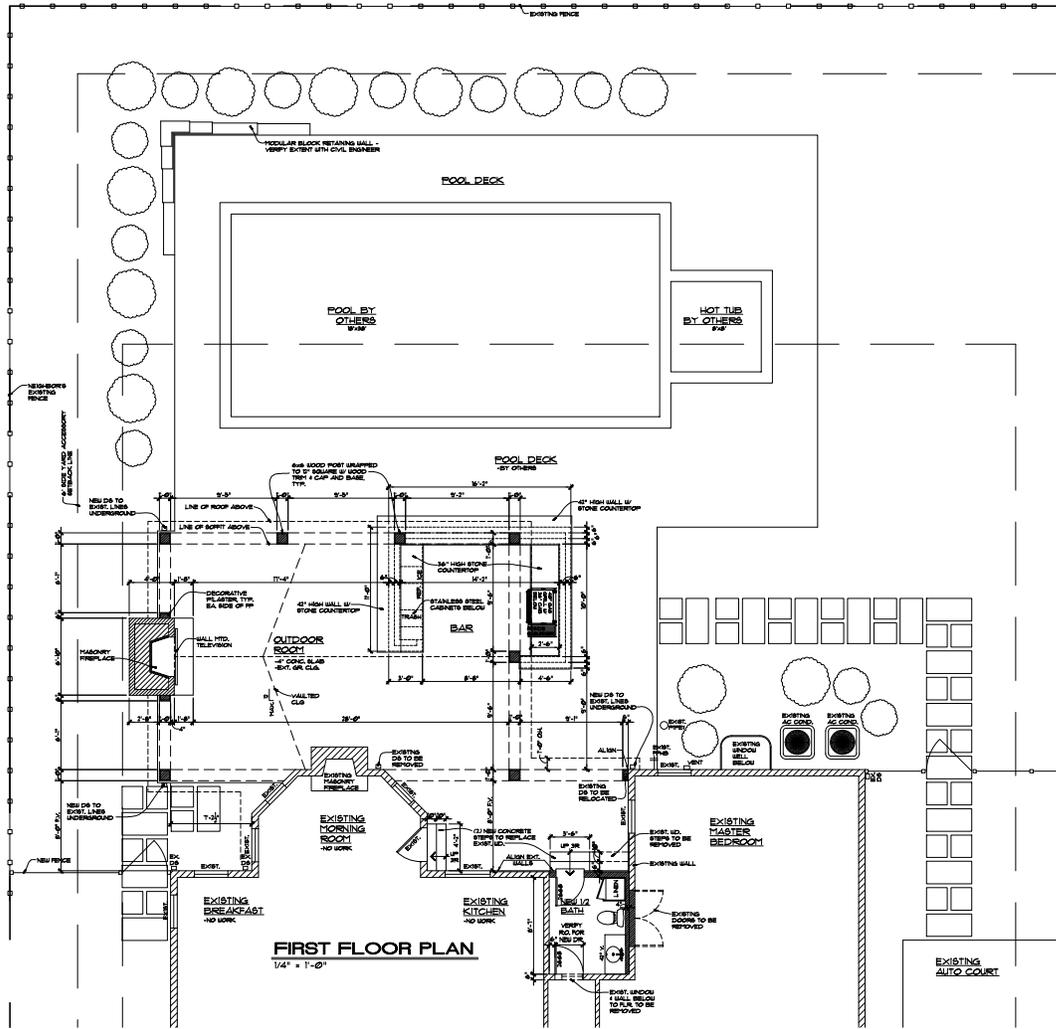
1. UTILITIES CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES EITHER BEFORE OR NOT SHOWN ON THESE PLANS PRIOR TO ANY GRADING AND/OR EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE AND REPAIR DAMAGED UTILITIES AT HIS OWN RISK.
2. ELECTRICAL SERVICE AND REPAIR DAMAGED UTILITIES AT HIS OWN RISK. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING ELECTRICAL SERVICE AND REPAIR AS REQUIRED BY HIS CONTRACTOR. HAZARD ELECTRICAL SERVICE TO HOUSE THROUGHOUT CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN CONTINUITY OF EXISTING DRAIN TILE SYSTEM TO RUMP OR DAYLIGHT PER SPECIFICATION. INSTALL NEW DRAIN TILE AROUND NEW CONSTRUCTION PER SECTION. ALLOW AND ENGINEER CONTROL. CONTRACTOR SHALL PROVIDE PROTECTION AT ALL ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAY. CONTROL SHALL INCLUDE SPRAY BARRIERS OR OTHER METHODS THAT MAY BE REQUIRED BY LOCAL AUTHORITIES.
4. TRENCH BACKFILL: ALL TRENCHES BENEATH ASPHALT OR CONCRETE PAVING SHALL BE BACKFILLED WITH GRANULAR MATERIAL.
5. SITE DAMAGE: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BOUNDARY DAMAGE TO ADJACENT PROPERTIES. CONTRACTOR SHALL NOTIFY ARCHITECT OR OTHER DOCUMENTS PREPARED BY THE ENGINEER.
6. ADJACENT PROPERTIES: THE ADJACENT SHALL BE STAKED OUT ON THE SITE BY A LICENSED SURVEYOR TO ASSURE COMPLIANCE WITH ALL SITE RESTRICTIONS EXISTING SAIDMENTS, LOCAL AND NEIGHBORHOOD SET BACK ORDINANCES, NEIGHBORHOOD AND EXISTING PROPERTY LINES.
7. VERIFY ELEVATIONS (TOP) AND LOCATION OF ADDITION WITH THE OWNER BEFORE PROCEEDING WITH THE WORK.
8. REMOVE TREES AND SHRUBS WHERE REQUIRED TO BE REMOVED OR INTERFERE WITH NEW CONSTRUCTION SHALL BE TAKEN DOWN, STUMP REMOVED, AND HAILED AWAY.
9. PROTECT ALL TREES TO REMAIN. COORDINATE ALL TREE MODIFICATIONS WITH OWNER. TREES TO REMAIN SHALL HAVE ROOTS PRUNED BY OWNER LANDSCAPE CONTRACTOR. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY GRASS SEEDING OR SOIL AROUND TREES THAT ARE ADJACENT TO CONSTRUCTION. THE INTENT IS TO AVOID DRYING OR STONING HEAVY EQUIPMENT ON THE TREE ROOT SYSTEM.
10. COORDINATE LOCATION FOR DRIVING OF TONSIL WITH OWNER.

OUTDOOR KITCHEN/GRILL AREA

1. ONLY NONCOMBUSTIBLE MATERIALS SHALL BE USED AND INSTALLED AT OUTSIDE KITCHEN/GRILL AREA, INCLUDING WALLS SURROUNDED BY HAZARDOUS.
2. CONTRACTOR TO VERIFY OPERATIONS AND INSTALLATION REQUIREMENTS ARE MET.
3. CONTRACTOR TO VERIFY THAT ALL GRILLS, BURNERS, ETC. ARE APPROVED AND COVERED BY MANUFACTURER.
4. CONTRACTOR TO VERIFY THAT ALL GRILLS, BURNERS, ETC. ARE APPROVED AND COVERED BY MANUFACTURER. CONTRACTOR SHALL NOTIFY ARCHITECT FOR ANY DISCREPANCIES.
5. BURNER HOOD: IF REQUIRED, COVERED GRILL AREA SHALL BE STAINLESS STEEL OR COPPER WITH METAL FLUE EXTENDING THROUGH THE ROOF WITH TERMINATION PER MANUFACTURER. INSTALL PER LOCAL AND NATIONAL CODE REQUIREMENTS AND PER MANUFACTURER RECOMMENDATIONS. MAINTAIN AND COVER IT WITH ALL CLEARANCES AND SAFETY REQUIREMENTS.
6. CONTRACTOR TO VERIFY THAT THE PROXIMITY OF REFRIGERATION APPLIANCES OR OTHER EQUIPMENT, FEET MINIMUM CLEARANCES TO COMBUSTIBLE APPLIANCES. ADJUST LOCATION AS REQUIRED TO PREVENT HEAT DAMAGE.
7. CONTRACTOR TO VERIFY THAT ALL APPLIANCES ARE APPROVED FOR LOCATION AS ILLUSTRATED AND FOR OUTDOOR USE.

FIRST FLOOR DRAWING NOTES

1. ALL INTERIOR WALLS TO BE 3/4\"/>



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 ARCHITECTS
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 Walden, Oregon, OR 97147
 (503) 335-5612 • ThomasAlanGroup.com

NOT FOR CONSTRUCTION

No.	Description	Date
1	ARB Resubmission	10-08-04
2	ARB Submission	08-19-04

Any Outdoor Room and Finished Basement for:
The Fester Residence
 7 Edwin Avenue
 Glendale, Missouri 63122

OUTDOOR ROOM FIRST FLOOR AND ROOF PLANS
 Sheet Number:
A3

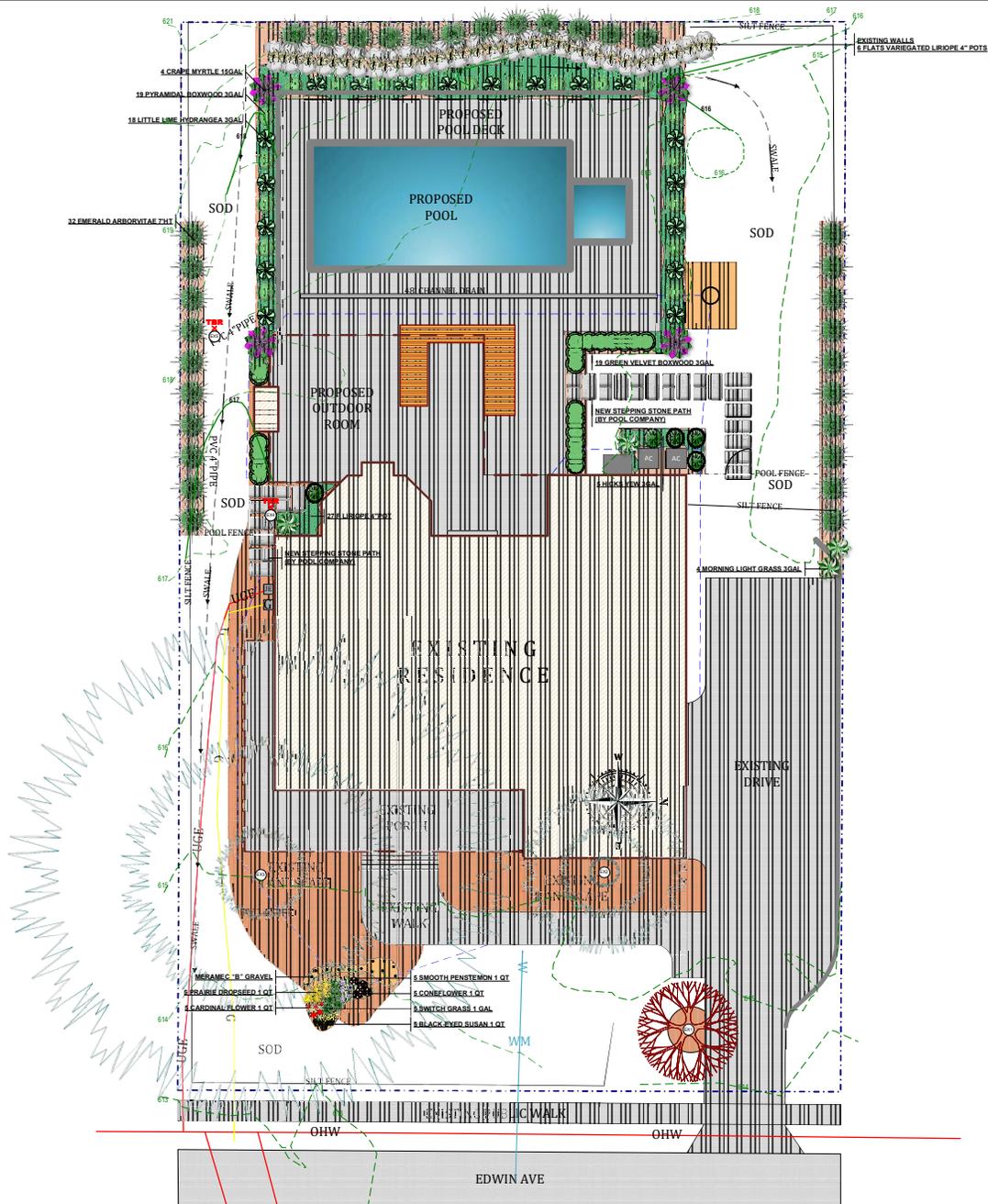
Mark & Ellen Fesler / 7 Edwin Ave
City of Glendale
424 N Sappington Rd
Saint Louis, MO 63122

LANDSCAPE PLAN COMMENTS

1. Quantities added to page L2.
2. Adequate walking traffic provided.
3. Rear yard already has fence.
4. Stone wall will remain.

Thank You,
Bill Weishaar, Jr.
Baxter Gardens of Chesterfield / Owner





EXISTING TREE SCHEDULE

ID Number	Scientific Name	Common Name	Tree Type	Caliper (inches)	Condition	T&E at Root Collar	Proposed	Street Tree	Comments
EX1	<i>Prunus serrulata</i>	Japanese Cherry	deciduous	8	good	remain	X		
EX2	<i>Magnolia virginiana</i>	Sweetbay Magnolia	evergreen	10	good	remain	X		
EX3	<i>Pinus strobus</i>	White Pine	evergreen	30	good	remain	X		
EX4	<i>Prunus americana</i>	Apicot	deciduous	8	good	to			
EX5	<i>Prunus serrulata</i>	Japanese Cherry	deciduous	8	good	to			

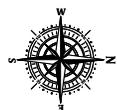
PROPOSED TREE SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	TREE TYPE	SIZE (INCHES)	TOTAL CALIPER REPLACEMENT	STREET TREE	COMMENTS
32	<i>Thymus occidentalis</i> 'Sagecat'	Ornamental Thyme	Shrublet/Perennial	2'	64"		

SHRUBS & PERENNIALS LEGEND

COMMON NAME	BOTANICAL NAME
Smooth Penstemon (5)	<i>Penstemon digitalis</i>
Coneflower (5)	<i>Echinacea purpurea</i>
Switch Grass (5)	<i>Panicum virgatum</i>
Black-Eyed Susan (5)	<i>Rudbeckia missouriensis</i>
Cardinal Flower (5)	<i>Lobelia cardinalis</i>
Prairie Dropseed (5)	<i>Sporobolus heterolepis</i>
Liriope (22)	<i>Liriope muscari</i>
Pyramidal Boxwood (19)	<i>Buxus sempervirens</i> 'Pyramidalis'
Little Lime Hydrangea (18)	<i>Hydrangea paniculata</i> 'Jane'
Crape Myrtle (4)	<i>Lagerstroemia indica</i>
Green Velvet Boxwood (19)	<i>Buxus</i> 'Green Velvet'
Morning Light Grass (4)	<i>Miscanthus sinensis</i> 'Morning Light'
Hicks Yew (5)	<i>Taxus x media</i> 'Hicksii'
Variegated Liriope (6)	<i>Liriope muscari</i> 'Variegata'

SCALE: 1/8" = 1' 0"



L1

LANDSCAPE DEVELOPMENT PLAN FOR
MARK & ELLEN FESLER
 7 Edwin Avenue
 Saint Louis (Glendale), MO 63122
 markfesler@gmail.com

THE PROFESSIONALS
 "Where Quality is Foremost"

BAXTER GARDENS
Chesterfield

17259 Waltham Creek Road
 Chesterfield, MO 63045 (636) 532-1033 FAX (636) 532-1258
 www.baxtergardens.com

DESIGNED BY: **Bill Weishaar, Jr.**
 ORIGINAL DATE: September 16TH, 2024
 REVISION DATE:
 GRAPHIC ART: CST / WHW

EXISTING TREE SCHEDULE

ID Number	Scientific Name	Common Name	Tree Type	Caliper (inches)	Condition	TPOD in (feet)	Impacted	Street Tree	Comments
EX1	<i>Platanus occidentalis</i>	Sycamore	deciduous	8	good	remain	S		
EX2	<i>Magnolia virginiana</i>	Sweetbay Magnolia	evergreen	10	good	remain	S		
EX3	<i>Pinus strobus</i>	White Pine	evergreen	20	good	remain	S		
EX4	<i>Buxus americana</i>	American Boxwood	deciduous	8	good	re			
EX5	<i>Buxus sempervirens</i>	Sycamore	deciduous	8	good	re			

PROPOSED DECIDUOUS/EVERGREEN TREE SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	TREE TYPE	SIZE (INCHES)	TOTAL CALIPER REPLACEMENT	STREET TREE	COMMENTS
02	<i>Thuja occidentalis</i> 'Spiral'	Emerald Green Arborvitae	Shrub/Evergreen	22"	87"		

SHRUBS & PERENNIALS LEGEND

COMMON NAME	BOTANICAL NAME
Smooth Penstemon (5)	<i>Penstemon digitalis</i>
Coneflower (5)	<i>Echinacea purpurea</i>
Switch Grass (5)	<i>Panicum virgatum</i>
Black-Eyed Susan (5)	<i>Rudbeckia missouriensis</i>
Cardinal Flower (5)	<i>Lobelia cardinalis</i>
Prairie Dropseed (5)	<i>Sporobolus heterolepis</i>
Liriope (22)	<i>Liriope muscari</i>
Pyramidal Boxwood (19)	<i>Buxus sempervirens</i> 'Pyramidalis'
Little Lime Hydrangea (18)	<i>Hydrangea paniculata</i> 'Jane'
Crape Myrtle (4)	<i>Lagerstroemia indica</i>
Green Velvet Boxwood (19)	<i>Buxus</i> 'Green Velvet'
Morning Light Grass (4)	<i>Miscanthus sinensis</i> 'Morning Light'
Hicks Yew (5)	<i>Taxus x media</i> 'Hicksii'
Variegated Liriope (6)	<i>Liriope muscari</i> 'Variegata'



L2

LANDSCAPE DEVELOPMENT PLAN FOR
MARK & ELLEN FESLER
 7 Edwin Avenue
 Saint Louis (Glendale), MO 63122
 markfesler@gmail.com

THE PROFESSIONALS
 "Where Quality is Foremost"

BAXTER GARDENS
Chesterfield

17259 Wildhorse Creek Road, Chesterfield, MO 63005 | 636.832.1033 FAX: 636.832.2259
 www.baxtergardens.com

DESIGNED BY: **Bill Weishaar, Jr.**
 ORIGINAL DATE: September 17, 2024
 REVISION DATE: 10/25/24
 GRAPHIC ART: CST

